

**TOWN OF ROCKPORT  
WARRANT FOR  
SPECIAL TOWN MEETING**

Monday, April 8, 2024  
The Commonwealth of Massachusetts

Essex, ss.

To: One of the Constables of the Town of Rockport,  
Massachusetts in said County of Essex in the  
Commonwealth of Massachusetts.

GREETINGS: In the name of the Commonwealth of Massachusetts, you are hereby directed to notify and warn the inhabitants of said Town qualified to vote in Town affairs to meet and assemble at the Rockport High School at 24 Jerden's Lane in said Rockport on Monday, the eighth day of April, 2024 A.D., at 5:30 in the evening, then and there to act on the following articles, to wit:

**ARTICLE A.** To see if the Town will vote to amend the Town's Zoning By-Laws as set forth below, specific only to the amendments indicated with strikethrough text to be deleted and new text to be inserted shown as bolded:

**XII. TRANSIT-ORIENTED VILLAGE OVERLAY - DISTRICT** \*1

**A. PURPOSE AND INTENT**

1. The primary purposes for Transit-Oriented Village Overlay District(TOVOD) are the following:

- a. To coordinate development and redevelopment according to plans collaboratively developed with community members from the Town of Rockport;
- b. To facilitate the development of a traditional, walkable village around the Rockport commuter rail station area, to promote neighborly activity, respect the Town's existing built form, and honor historic development patterns inherent in New England villages;
- c. To provide a range of housing types, unit sizes, and price points to accommodate diverse household sizes, income levels, and stages of life;
- d. To enhance pedestrian connectivity both within the TOVOD and to surrounding districts;
- e. To preserve and enhance the availability and design of the Town's public realm and civic spaces;

- f. To allow for a range of business activity that supports the local interests in providing for everyday needs of the Town's year-round residents; and
- g. To create vehicular parking requirements consistent with best practices for suburban station areas.

## B. APPLICABILITY

1. The TOVOD Districts is an overlay district superimposed over the underlying zoning districts or portions thereof as shown on the Zoning Map set forth in the Rockport Zoning By-law. Within the TOVOD, the requirements of the underlying districts continue to apply as an alternative to the requirements of the TOVOD. The TOVOD will not restrict the rights of any owner who elects to utilize the existing underlying zoning regulations to develop or redevelop land. If an owner elects to utilize the TOVOD to develop or redevelop land, the project shall conform to all applicable requirements of this Section XII.
2. Diagrams are included in this Section XII. to help illustrate the purpose and requirements of the text. In the case of a conflict between the text of this Section and any diagram, the text shall govern.

## C. PERMITTED USES

1. The following list of uses are permitted with the TOVOD, either as-of-right (labelled "Y"), **as prohibited (labelled "N")** or by grant of a Special Permit (labelled "SP"). Any uses not in the list below are prohibited under the TOVOD.
- ~~2. The Planning Board will act as the Special Permit granting authority for all applications under the TOVOD requiring such.~~
2. Mixed-use buildings, as defined in Section II are permitted, provided the uses are allowed as set forth in Section XII.C.4 and building standards are met as set forth in Section XII.F.
3. Permitted uses may be housed in structures complying with Building Standards as set forth in Section XII.F. Certain Building Types as set forth in Section XII.F.5.A require a Special Permit regardless of whether the use is permitted as-of-right. **The Permitted Uses are as noted in the table below:**

Use	Permitted
Residential Uses	
Mixed-Use building	Y
Multi-Family building	Y
Town houses	Y
Accessory Dwelling Unit, maximum of one unit per lot	Y
Retail Business and Consumer Service Uses	

Food service establishments that sell over a counter, such as bakeries, coffee shops, and ice cream shops	Y
Restaurants and other eating establishments serving food to persons seated at tables or counters	Y
Stores, salesrooms, or showrooms for the conduct of retail business, such as clothing, craft shops and other consumer goods of not more than 2,500 square feet	Y
Personal services, such as a barber, hairdresser, dry cleaning, and other establishments	Y
Movie theaters, theaters, and entertainment centers, such as bowling alleys or billiards	SP
Office, including doctor, dentist, accountant, other member of a recognized profession	Y
Grocery Store	Y
Child care facility	Y
Art studio, provided it does not cause noise, undue commotion, or traffic detrimental to the neighborhood	Y

Use	Permitted
Galleries or studios for the instruction, practice, and recital of musical instruments, voice, drama, and dance, provided that such work is not detrimental to the neighborhood due to noise or vibrations	SP
<b>Commercial and Industrial Uses</b>	
Professional offices, including financial institutions, architecture firms, and other places of employment provided in an office environment	Y
Light industrial operations, including processing, fabricating, and assembly plants and manufacturing operations, provided they do not cause noise, odors, undue commotion, or traffic detrimental to the neighborhood	SPN
Structured parking facility	SP
<b>Institutional Uses</b>	
Churches and buildings used for religious purposes	Y
Private clubhouse, meeting halls, and lodge rooms to be used by fraternal or other organizations	SP

#### **D. ADMINISTRATION**

1. **Site Plan Review.** All applications under the TOVOD require Site Plan Review **by the Planning Board**. See Section ~~XIII~~ XIV for applicable

procedures.

**2. Special Permit Review. The Planning Board will act as the Special Permit Granting Authority, where Special Permits are allowed under Section XII.C Permitted Uses, for all applications under the TOVOD.**

~~3. **Supplemental Materials.** The Planning Board may adopt rules and regulations to advance the purposes and to assist with the implementation of this bylaw.~~

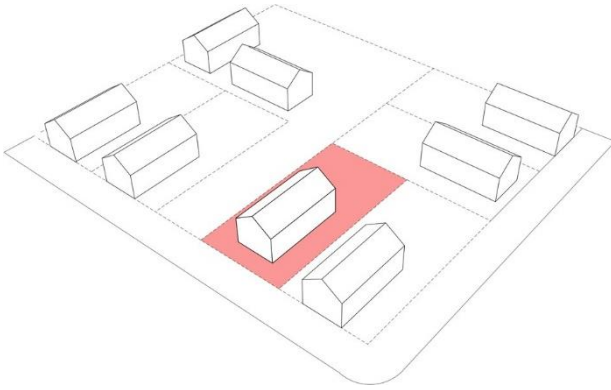
~~4. An analysis must demonstrate that the proposed project will result in an improvement of storm water run-off from the existing conditions.~~

## **E. LOTS**

1. All newly created lots must have a lot line or theoretical lot line abutting a thoroughfare, civic space, right-of-way, or easement. Driveways do not count as thoroughfare types and cannot be used to satisfy this provision.
2. The construction of multiple buildings on a lot is permitted, provided other standards, including parking standards, are met.
3. The Planning Board may, as part of the Site Plan Review process, allow reductions in the minimum setbacks in order to promote better site design for site conditions particular to a given lot.

## Lot Types

### a. Standard / Interior Lot

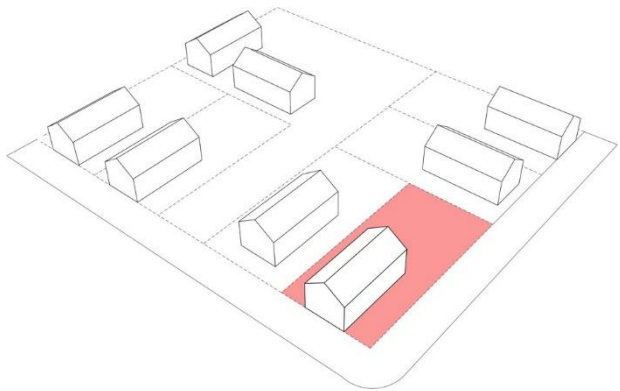


### b. Corner Lot

**Description**

A lot that has frontage along a single thoroughfare.

**Dimensions**



Lot Width	50' min
Building Front Setback	0' min, 15' max
Building Side Setback	0' min, 25' max
Building Rear Setback	5' min

**Description**

A lot that has frontage on two intersecting thoroughfares.

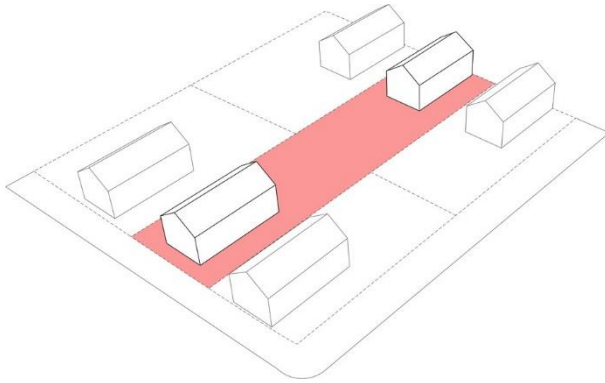
**Dimensions**

Lot Width	50' min
Building Front Setback	0' min, 15' max
Building Side Setback	0' min, 25' max
Building Rear Setback	5' min

Standards

1. On a corner lot, the applicant may choose which street frontage is the front lot line.

c. Through Lot



**Description**

A lot that has frontage on two, non-intersecting thoroughfares.

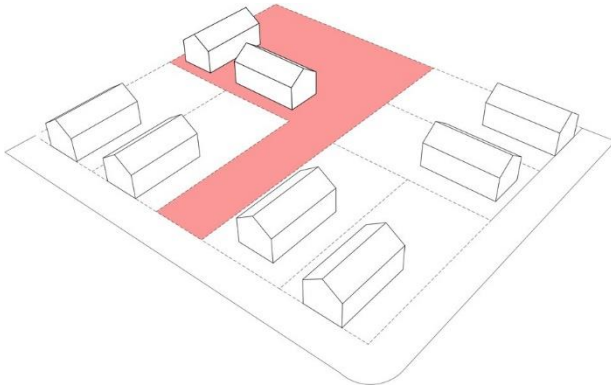
**Dimensions**

Lot Width	50' min
Building Front Setback	0' min, 15' max
Building Side Setback	<b>0' min, 25' max</b>
Building Rear Setback	N/A

**Standards**

1. A through lot has two frontages, although the applicant may choose one frontage for development.

d. Flag Lot



**Description**

A lot connected to a thoroughfare by a thin strip of land, narrower than the minimum permitted lot width.

**Dimensions**

Lot Width	None
Building Front Setback	None
Building Side Setback	0' min, 5' max
Building Rear Setback	5' min

**Standards**

1. Only existing flag lots are permitted. The creation of new flag lots is prohibited.
2. A sidewalk or similar pedestrian connection must be constructed from the thoroughfare to all building(s) in the lot.

## F. BUILDING STANDARDS

1. Purpose
  - a. To provide buildings that reflect the scale and character of the community.
  - b. To allow for flexible building expansion to increase floor area.
  - c. To allow additional structures to be provided on a lot.
2. Applicability
  - a. This article applies to all new buildings, building additions, and additional structures.
3. General
  - a. The height limitations of Section VI.A.5 do not apply to the provisions of this Section XII.
  - b. Multiple buildings on a lot are permitted, provided all other requirements are met.
  - c. For purposes of measurement, building length and width standards apply only to the main building mass. Components have unique dimensions and standards.
  - d. At least one primary entrance must be located along the primary frontage of a primary building's main building mass.
4. The ~~Special Permit Granting Authority~~ **Planning Board** may, as part of the Site Plan Review process, allow reductions in **the setbacks of** building dimensions in order to promote better site design for site conditions particular to a given lot.
5. **Schedule of Area and Dimensions**

	Dimension (3)
Area square feet - Multi-Family or Townhouse	10,000 sf
Area square feet – Mixed Use	20,000 sf
Frontage on street or right-of-way	50 ft
Accessory Buildings or Structures	
Min. Bldg. Separation (1)	15 ft
Side/rear setbacks (2)	10 ft

- (1) For the purpose of computing Minimum Building Separation, attached decks are deemed to be part of the building.
- (2) Accessory Buildings or Structures: for the purposes of side and rear setbacks only, swimming pools and tennis courts are deemed to be accessory buildings.
- (3) All dimensions are in feet unless otherwise noted.

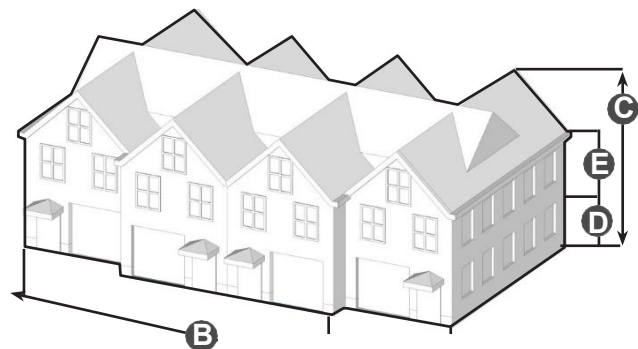
6. Building Type and Housing Density
  - a. **Housing Density.** All developments in the TOVOD shall have a maximum density of 15 dwelling units per acre.
  - b. **Building Types.** The following list of building types are permitted with the TOVOD,



either as-of-right (labelled “Y”) or by grant of a Special Permit (labelled “SP”). Any building types not in the list below are prohibited under the TOVOD. See definitions for the following building types. Sections XII.F.5 further describe each of these building types.

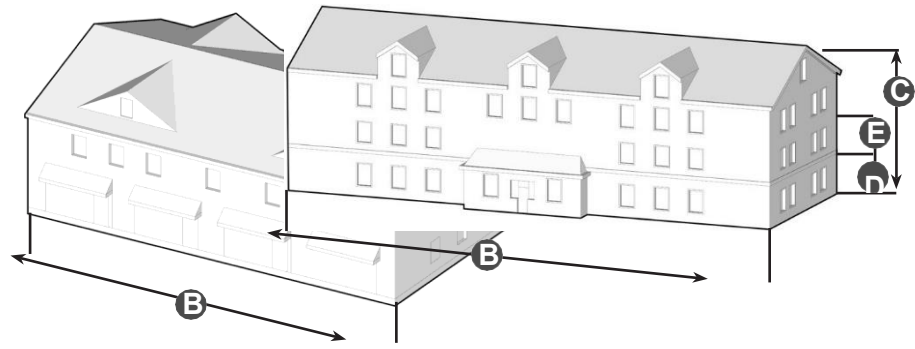
Building Type		
<del>Town house</del> <b>Town House</b>		Y
<del>Mixed-use building</del> <b>Mixed-Use</b>		Y
<del>Multifamily</del> <b>Multi-Family</b>		SPY

~~c. The Planning Board will act as the Special Permit Granting Authority for all applications under~~



~~FAMILY TOWNHOUSE~~  
**TOWN HOUSE**

MIXED-USE BUILDING



~~c. Standards for each building style are provided in the following sections:~~  
~~A small to medium sized attached residential building type.~~

**Description**

**Description**

~~A variably sized building with ground floor commercial, retail or other non residential space and one or more units of residential and/or commercial space on upper floor(s). (1)~~

## Description

A building providing multiple residential units.

Building Type (See Section II. Definitions)Form

		Town House	Mixed-Use Building (1)	Multi-family (2)
Townhouse Town House unit width	A	18' min., 36' max.	N/A	N/A
Building length	B	100' max.	100' max.	140' No max.
Building height	C	2.5 stories, 38'	2.5 stories, 38'	2.5 stories, 38'
First floor height	D	9' min., 12' max.	11' min., 15' max.	10' min., 15' max.
Upper floor height	E	9' min., 12' max.	9' min., 12' max.	10' min., 12' max.
Bonus height	F(2)	N/A	N/A	45' max. total

## Fenestration

First floor fenestration	5% min.	30% min.	20% min.
Upper floor fenestration	15% min.	15% min.	15% min..

## Notes

- Mixed Use Buildings shall be as defined in Section II. Definitions, however, in the TOVOD dwelling units may also be located on the ground floor level of a Mixed-Use building, where other uses do not fully occupy the level. The requirement for non-residential uses is limited to the ground floor of buildings, and in no case represents a requirement that more than thirty-three percent of the floor area of a building, lot, or project must be for non-residential uses.**
- ~~At least 50% of ground floor must be occupied by commercial uses.~~
- An increase in building height may be granted by the permit granting authority at its discretion. At a minimum a building with a height greater than 30' must be located in the interior of a lot behind buildings along the frontage or other suitable screening from the public way.
- Mixed-use buildings must be articulated ~~vertically~~ **horizontally** a minimum of every 40' through the use of pilasters, columns, changes in material, or other means.

TOWNHOUSE TOWN HOUSE(continued) MIXED-USE BUILDING (continued) MULTI-FAMILY (continued)

## Roofs

Gable	Y	Y	Y
Hipped	N	Y	Y
Shed	Y	Y	Y
Flat	N	N	N

## Massing Components

Extended shopfront	N	Y	N
Rear addition	SP	Y	Y
Side wing	N	Y	Y
Step back	N	SP	SP

## Architectural Components

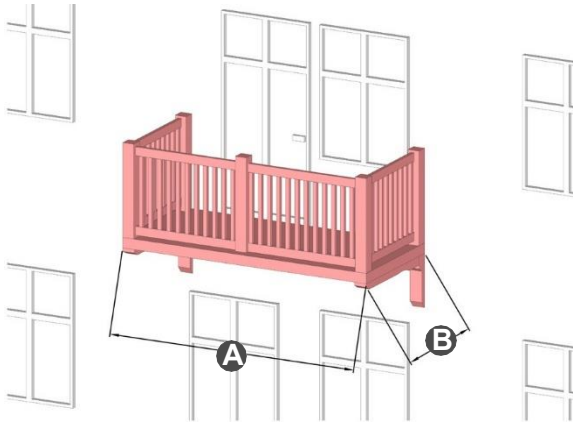
Porch	Y	Y	Y
Gallery	Y	Y	Y
Stoop	Y	Y	Y
Cross Gable	Y	Y	Y
Shed Dormer	Y	Y	Y

Dormer Window	Y	Y	Y
Bay Window	Y	Y	Y
Balcony	Y	Y	Y
Portico	Y	Y	Y
Canopy	Y	Y	Y
Deck	Y	Y	Y
Roof Deck	SP	SP	SP

## 7. Components

- a. Components are intended to avoid monotonous buildings and break up facades with architectural and massing components.
- b. The intent of this Section XII.F.6 is to provide a clear and flexible system for enabling the construction of new buildings and the expansion and modification of existing buildings in a manner consistent with the Town's character and vision.
- c. At least one component is required per building. For buildings greater than 50' in length, at least one component is required per 50', rounded to the nearest 100'.
- c. Standards for each component are provided in the following sections
- d. Applicable building codes apply. In cases where the relevant building code conflicts with this Section XII.F.6, the building code regulations prevail.

a. BALCONY



Description

An unroofed platform attached to a building face that provides outdoor space above the first floor.

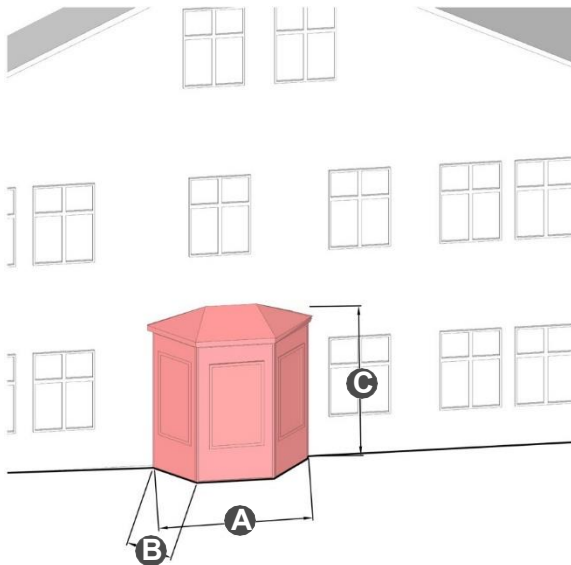
Dimensions

Width	No more than width of the adjoining building face	A
Projection	8' max	B

Standards

1. Balconies are only permitted on upper stories
2. Balconies may not be enclosed and must be unroofed unless it is recessed into the envelope of the building or component to which it is attached
3. Balconies may be projecting, integral, terraced, or a combination thereof. Projecting balconies may not encroach past the front lot line
4. Balconies may wrap around corners to attach to galleries, porches, decks, or balconies on abutting building facades.
5. A projecting balcony must have a clear height above the ground of at least 10'.
6. When built on top of a porch, gallery, or portico, the balcony may extend to the boundaries of the component below.

b. BAY WINDOW



Description

An enclosed window assembly extending from the face of a building element to permit increased light, multi-dimensional views, and articulate a building façade.

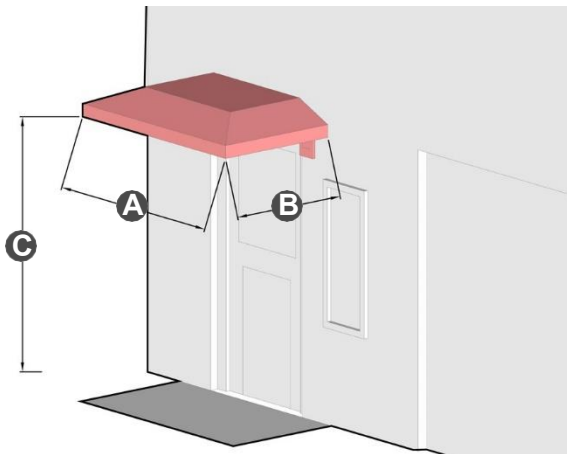
Dimensions

Width	16' max	A
Projection	6" min, 4' max	B
Top Plate Height	Max equal to total number of full building stories	C
Fenestration	30% min	

Standards

1. Must be visually supported by brackets, corbels, or a beam along their full depth or when built at the first floor, may extend visually to the ground plane.
2. Bay windows may intersect with and occupy the same space as porches, balconies, galleries, and decks.
3. Bay windows may be two-sided, multi-sided, or curved.

c. CANOPY



**Description**

A fixed, wall-mounted overhang extending from a building to provide shade and weather protection for pedestrians.

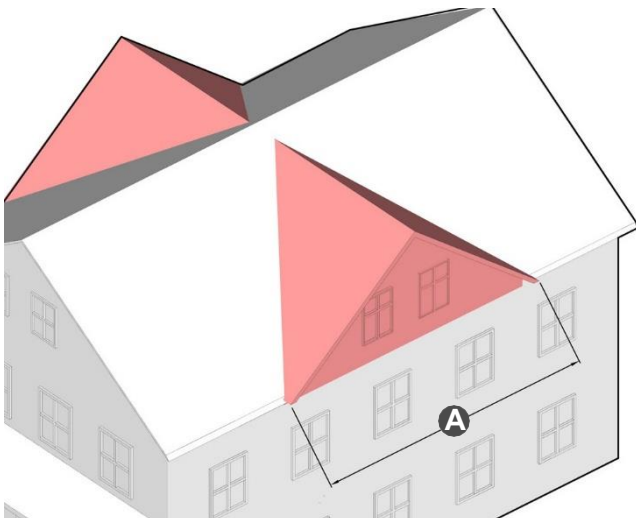
**Dimensions**

Width	4' min	A
Projection	3' min	B
Height	8' min	C

**Standards**

1. Canopies should be inset from the corners of the wall to which they are attached by at least 3".
2. Canopies may encroach past the front lot line to provide shade along public rights-of-way.

d. CROSS GABLE



**Description**

A gable roof that projects perpendicular from the roof of the primary building to increase the habitable space within a roof.

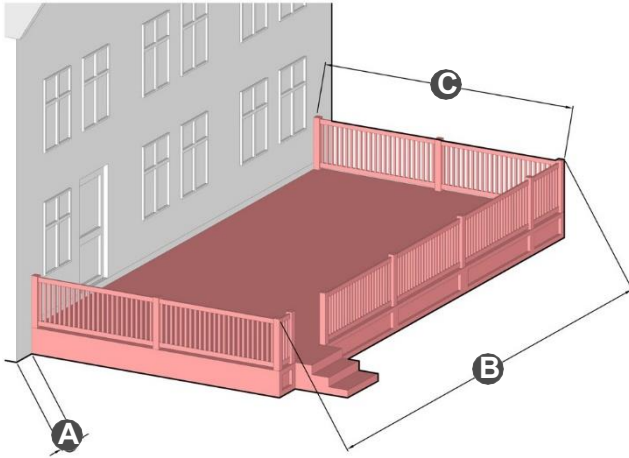
**Dimensions**

Width	Equal to width of narrowest face of the primary building	A
Height	May not be higher than ridge beam of primary building	B
Fenestration	20% min	

**Standards**

1. Two cross gables of equal size and roof pitch may be used together.

e. DECK



**Description**

A roofless, uncovered, raised platform accessible from a secondary entrance to a building that provides outdoor amenity space.

**Dimensions**

Setback from corner of building	2' min	A
Width	8' min	B
Projection	6' min	C
Height	None	

**Standards**

1. Decks are not permitted along frontages.
2. The space between piles or piers must be enclosed with latticework or similar material, or concealed visually by landscaping on all sides.

f. DORMER



**Description**

A window or group of windows with a gable, hip, or shed roof that projects vertically from the roof of a building element, designed to provide increased light and expand the habitable space within a roof.

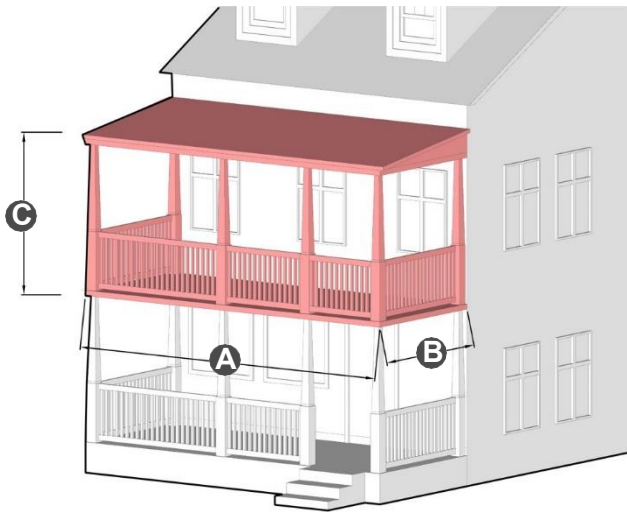
**Dimensions**

Width	See Section IV.A.3	A
Height	No higher than height of roof	B

**Standards**

1. Windows should be vertically proportioned and no more than 3' high.
2. See Section IV.A.3 for additional standards.

g. GALLERY



**Description**

A raised, roofed platform that provides additional living space, with access solely from the interior of the building.

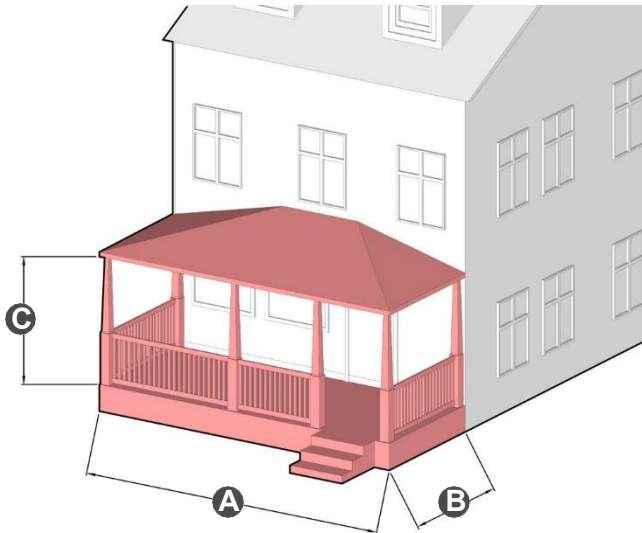
**Dimensions**

Width	No more than width of the adjoining building face	A
Projection	6' min, 12' max	B
Clear Height	7' min	C
Fenestration	60% min when enclosed	

**Standards**

1. Galleries may be partially or fully enclosed.
2. Galleries may be projecting or integral.
3. Galleries may wrap around corners to attach to porches, decks, balconies, or other galleries on abutting building faces.

h. PORCH



**Description**

A raised platform with that stairs that provides access to a building entrance.

**Dimensions**

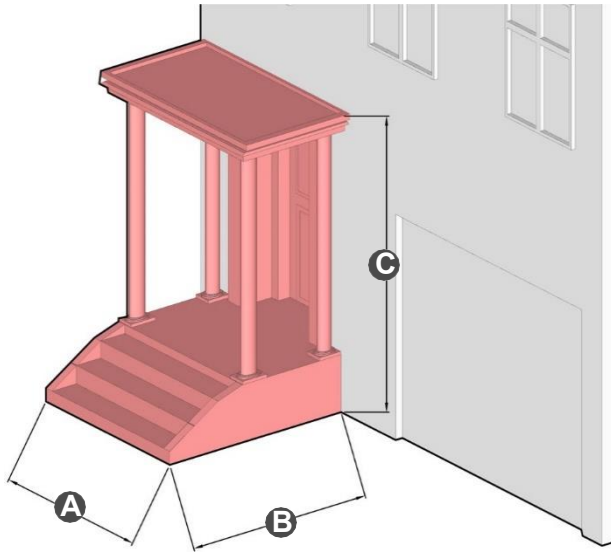
Width	No more than width of the adjoining building face	A
Projection	6' min, 12' max	B
Height	7' min	C
Fenestration	60% min when enclosed	

**Standards**

1. Porches may be partially or fully enclosed.
2. Porches may be projecting, engaged, or integral.
3. Stairs may extend off the front or side of the porch, except when a porch is located on an upper floor in which case the stairs cannot be located along the primary frontage.
4. The space between piles or piers must be enclosed with latticework or similar material, or concealed visually by landscaping on all sides.



i. PORTICO



**Description**

A roofed structure above a stoop or platform supported on columns or pillars, which shields occupants from inclement weather and provides access to a building entrance.

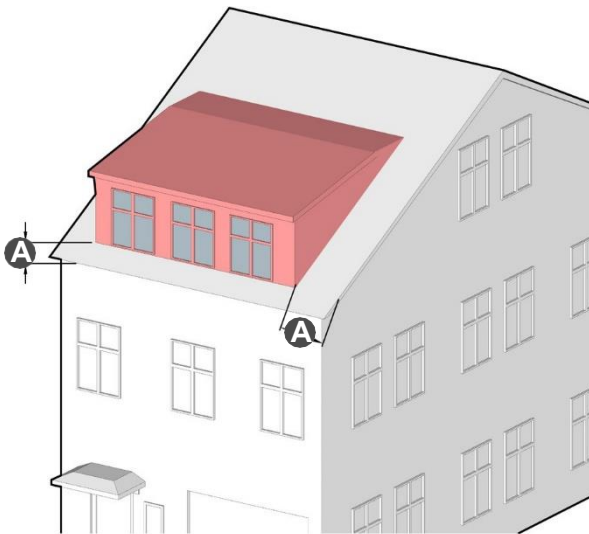
**Dimensions**

Width	3.5' min	A
Projection	3.5' min, 8' max	B
Height	8' min	C

**Standards**

1. A portico may not exceed the height of the primary ridge beam on the building element to which it attaches.
2. A portico must be elevated on a platform at least 1' from the ground.

j. SHED DORMER



**Description**

A room, or portion of a room with a shed roof that projects vertically from the roof of a building element, designed to provide increased light and expand the habitable space under a roof.

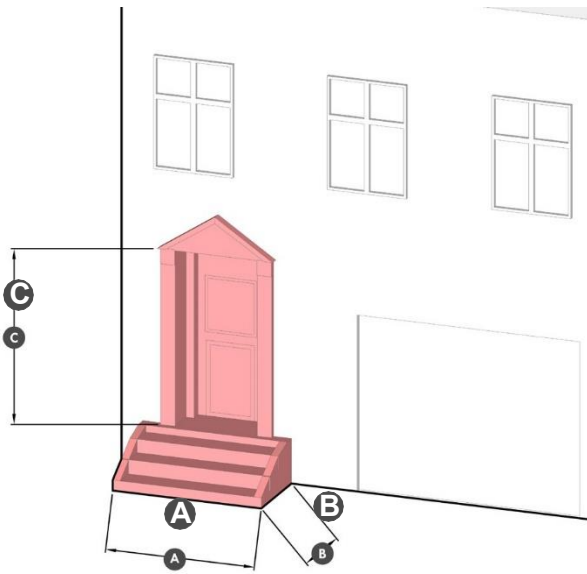
**Dimensions**

Gable End	See Section VI.A.3	A
Setback		
Fenestration	20% min	

**Standards**

1. Windows should be vertically proportioned and no more than 3' wide.
2. See Section VI.A.3 for additional standards.

### k. STOOP



### Description

A component featuring a set of stairs with a landing to the entrance of a building.

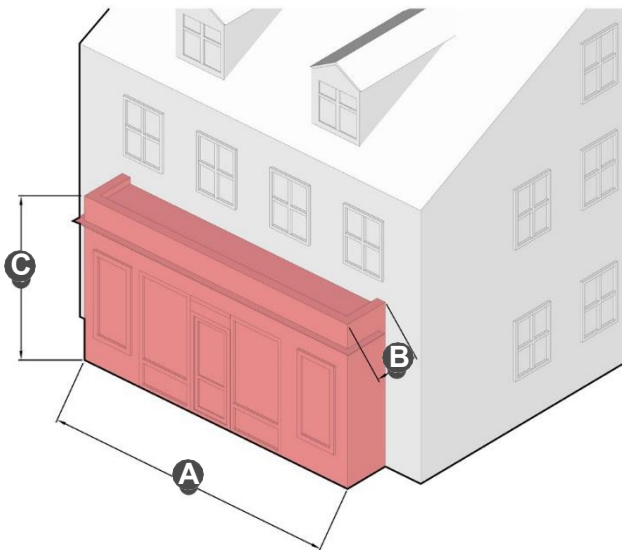
#### Dimensions

Width	3.5' min	A
Projection	3.5' min	B
Height	7' min	C

#### Standards

1. Stoops may be recessed into the building façade.
2. Stoop may be built perpendicular or parallel to the building face, but must lead directly to ground level or an abutting sidewalk from the building entrance.
3. Stoops may be configured as a split stair to access a below grade unit.
4. If a stoop is built encroaching onto a sidewalk, it must provide at least 3' clear and unobstructed between its outermost face and the face of the curb.

### l. EXTENDED SHOPFRONT



### Description

An extension of the front of the building to provide new or expanded commercial space and a shopfront.

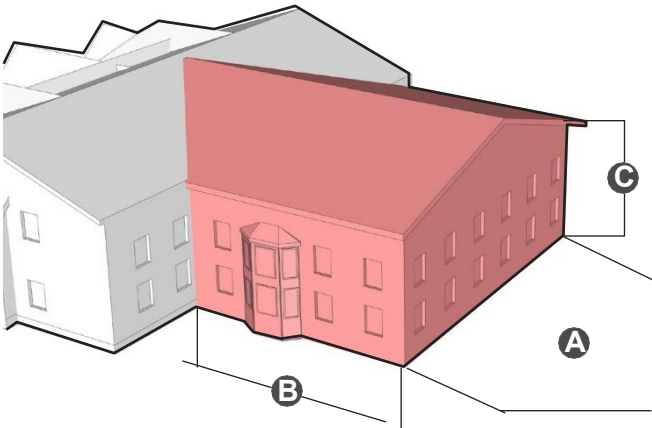
#### Dimensions

Width	No more than the width of the building face to which it attaches	A
Projection	May not encroach onto setbacks	B
Height	Max equal to total number of full building stories	C
Fenestration	70% min (shopfront) 30% min (upper stories)	

#### Standards

1. Extended shopfronts may wrap around corners of building face.

**m. REAR  
ADDITION**



**Description**

An extension from the rear wall of a primary building or accessory building.

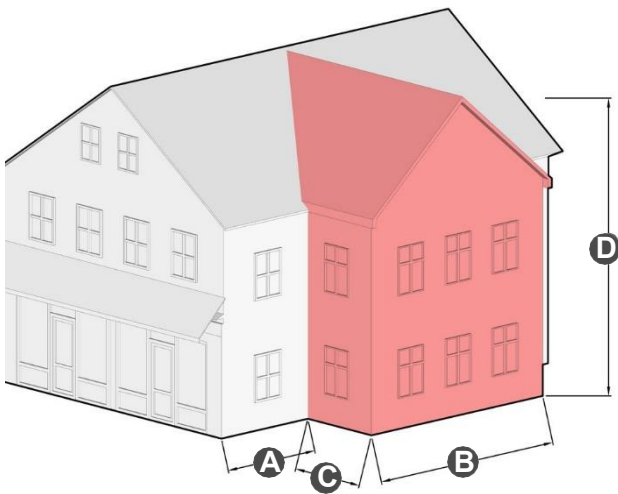
**Dimensions**

Width	Max width of rear wall, less 2'	A
Projection	No max, provided setbacks are met	B
Height	Equal to or less than height of main building	C

**Standards**

1. Rear additions may be centered or offset at the rear wall of the main building mass, provided they share at least 6' with the common wall.
2. Additional components may be incorporated onto rear additions. Where a rear addition is greater than 50', at least one additional component is required.

**n. SIDE WING**



**Description**

A multi-story extension from the side walls of a primary building or accessory building.

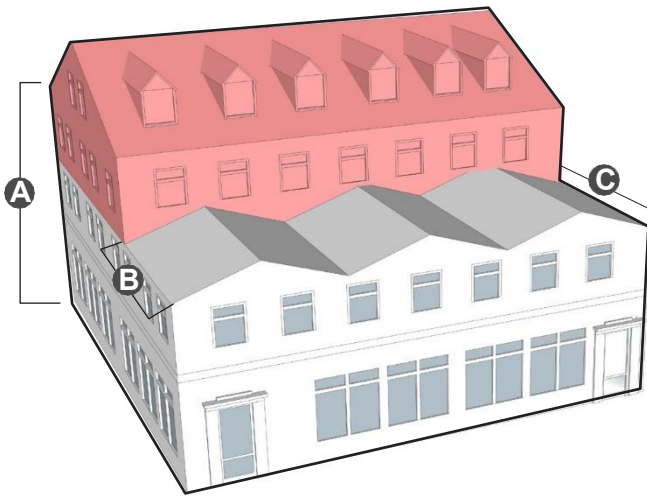
**Dimensions**

Setback from façade	8' min	A
Width	Max 2/3 width of primary building	B
Projection	Max 12'	C
Height	Equal to or less than height of primary building	D
Fenestration	20% min	

**Standards**

1. Primary building may only have one side wing per side.
2. Side wings may be centered or offset at the side wall of the primary building, provided they share at least 6' with the common wall.
3. Additional components may attach to the side wing.

### o. STEPBACK



#### **Description**

A recession in the profile of a building intended to reduce building mass and/or reduce shadows, while allowing for additional height.

#### **Dimensions**

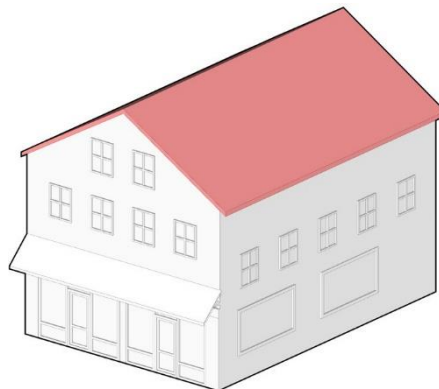
Height	40' max height from ground	A
Width	Equal to or less than width of primary building	B
Setback from façade	25' min	C
Fenestration	20% min	

#### **Standards**

1. Primary buildings may only have one stepback.

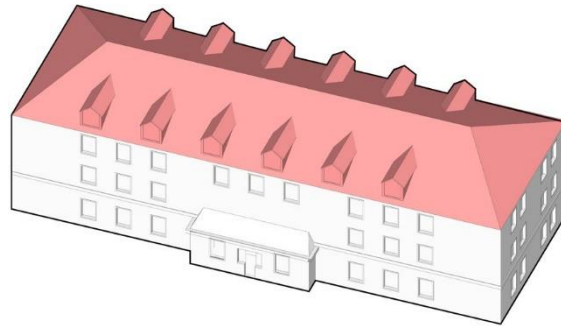
## 8. Roofs

- a. The purpose of this section is to provide for buildings that have identifiable roof shapes based on local character.
- b. Pitched roofs must converge, symmetrically, to a single ridge beam at their highest point.
- c. Shed roofs are considered to be symmetrical provided the vertical separation between the base of the eaves and the top of the ridge beam is the same across the entire length of the roof.
- d. The following are diagrams and descriptions of allowable roof types in the district. Flat roofs are prohibited except for fabrication buildings.
- e. Gable Roof
  - (1) A pitched roof with two sides of the same slop and length, meeting symmetrically at a single ridge-beam.



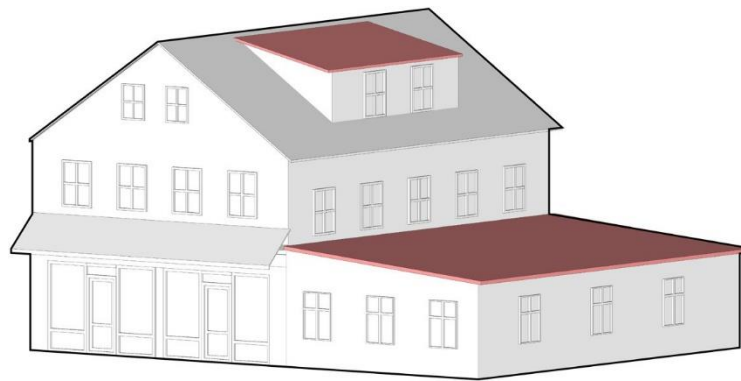
f. Hipped Roof

(1) A pitched roof with all sides inclined at the same slope, such that they meet symmetrically at a shared ridge beam or a point.



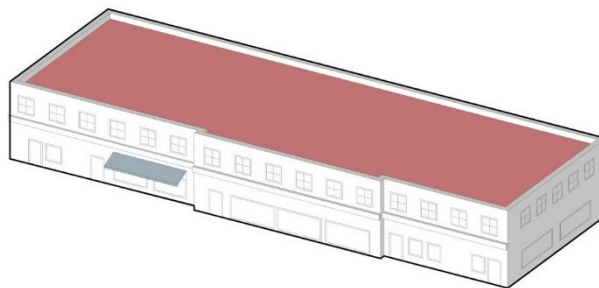
g. Shed Roof

(1) A simple roof pitched in only one direction.



h. Flat Roof

(1) A simple roof pitched very slightly in one or more directions, approximating a flat surface.



## G. PARKING REQUIREMENTS

The parking requirements of Section VII shall apply to this District.

## H. CIVIC / OPEN SPACE

### 1. Purpose

- a. To ensure a variety of functional, well-designed civic and open spaces that complement the character of abutting properties and add vibrancy to the community.
- b. To provide a range of civic and open space types within proximity to homes and businesses.

### 2. Applicability

- a. For projects of greater than 10 residential units or greater than 10,000 square feet of non-residential space, a minimum of 5% of gross land area of the parcel must be designed as publicly available open space, subject to reasonable restrictions set forth by the applicant.
- b. Required open space is not required to be contiguous, however, open space must be designed as usable for sitting, recreation, or other active uses and shall not include buffer strips.
- c. At the discretion of the Special Permit Granting Authority, the applicant may satisfy all or part of the open space requirement through the provision of improvements to existing parks, improving access to existing parks, or the provision of walking trails within or connecting to the district.

\*1 (Added STM 5/16/2022)

**ARTICLE B.** To see if the Town will vote to amend the Town's Zoning By-Laws as set forth below, specific only to the new text to be inserted shown as bolded and the associated Zoning Map:

## XIII. MBTA COMMUNITIES MULTI-FAMILY OVERLAY DISTRICT

### A. PURPOSE AND INTENT

#### 1. The primary purposes for MBTA Communities Multi-Family Overlay District (MCMOD) are the following:

- a. To coordinate development and redevelopment according to plans collaboratively developed with community members from the Town of Rockport;

- b. To facilitate the development of a traditional, walkable village around the Rockport commuter rail station area, to promote neighborly activity, respect the Town's existing built form, and honor historic development patterns inherent in New England villages;
- c. To allow for a range of housing types, unit sizes, and price points to accommodate diverse household sizes, income levels, and stages of life;
- d. To enhance pedestrian connectivity both within the MCMOD and to surrounding districts;
- e. To preserve and enhance the availability and design of the Town's public realm and civic spaces; and

#### **B. APPLICABILITY**

- 1. The MCMOD Districts are overlay districts superimposed over the underlying zoning districts or portions thereof as shown on the Zoning Map set forth in the Rockport Zoning By-law. Within the MCMOD, the requirements of the underlying districts continue to apply as an alternative to the requirements of the MCMOD. The MCMOD will not restrict the rights of any owner who elects to utilize the existing underlying zoning regulations to develop or redevelop land. If an owner elects to utilize the MCMOD to develop or redevelop land, the project shall conform to all applicable requirements of this Section XIII.

#### **C. PERMITTED USES**

- 1. Uses Permitted As of Right. The following uses are permitted as of right within the MCMOD.
  - a. Multi-family housing, including Town Houses.
  - b. All permitted uses set forth in underlying zoning as outlined in Section V.

#### **D. ADMINISTRATION**

- 1. Site Plan Review. All applications under the MCMOD require Site Plan Review by the Planning Board. See Section XIV for applicable procedures.
- 2. Special Permit Review. The Planning Board will act as the Special Permit Granting Authority where Special Permits are allowed under Section V., Permitted Uses, for all applications under the MCMOD.

#### **E. LOTS**

- 1. All newly created lots must have a lot line or theoretical lot line abutting a thoroughfare, civic space, right-of-way, or easement. Driveways do not count as thoroughfare types and cannot be used to satisfy this provision.
- 2. The construction of multiple buildings on a lot is permitted, provided other standards, including parking standards, are met.
- 3. The Planning Board may, as part of the Site Plan Review process, allow reductions in the minimum setbacks to promote better site design for site conditions particular to a given lot.

#### **F. BUILDING STANDARDS**

- 1. Applicability
  - a. This article applies to all new buildings, building additions, and additional structures.

## **2. General**

- a. The height limitations of Section VI.A.5 shall apply to Section XIII, MCMOD.
  - b. Multiple buildings on a lot are permitted, provided all other requirements are met.
3. The Planning Board may, as part of the Site Plan Review process, allow reductions in the setbacks of building dimensions to promote better site design for site conditions particular to a given lot.
4. **Schedule of Area and Dimensions**  
The underlying zoning dimensional regulations set for in Section VI.B. shall apply to the MCMOD.
5. **Building Type and Housing Density**
- a. **Housing Density.** All developments in the MCMOD shall have a maximum density of 15 dwelling units or fewer per acre.
  - b. **Building Types.** The following list of building types are permitted with the MCMOD, either as-of-right (labelled “Y”) or by grant of a Special Permit (labelled “SP”). Any building types not in the list below are prohibited under the MCMOD. See definitions for the following building types in TOVOD Section XII.F.5 which further describes each of these building types.

### **Building Type**

<u>Town House</u>	<u>Y</u>
<u>Multi-Family</u>	<u>Y</u>

- c. TOVOD Section XII.F.6 Building Types shall apply to this Section XIII.F.6.

## **G. PARKING REQUIREMENTS**

The parking requirements of Section VII shall apply to this District.

## **H. CIVIC / OPEN SPACE**

### **1. Purpose**

- a. To ensure a variety of functional, well-designed civic and open spaces that complement the character of abutting properties and add vibrancy to the community.

### **2. Applicability**

- a. For projects of greater than 10 residential units a minimum of 5% of gross land area of the parcel must be designed as publicly available open space, subject to reasonable restrictions set forth by the applicant.
- b. Required open space is not required to be contiguous, however, open space must be designed as usable for sitting, recreation, or other active uses and shall not include buffer strips.



**At the discretion of the Planning Board, the applicant may satisfy all or part of the open space requirement through the provision of improvements to existing parks, improving access to existing parks, or the provision of walking trails within or connecting to the district.**

*(Remainder of this page intentionally blank)*

And you are directed to serve this Warrant by posting attested copies of the same at each of the Post Offices, the Town Bulletin Board and in other public places in each village of the Town, fourteen days at least before the day of the holding of said SPECIAL TOWN MEETING.

Hereof fail not and make due return of this Warrant, with your doings thereon to the Town Clerk, three days at least before Monday, April 8, 2024.

Given under our hands and seal of the Town this 21<sup>st</sup> day of March 2024 A.D.

SELECT BOARD  
TOWN OF ROCKPORT

Sarah J. Wilkinson, Chair

Ross C. Brackett, Vice Chair

Paul F. Murphy, Member

Herman S. Lilja, Member

Denise C. Donnelly, Member